



Staff Report PC23-026-DP

White Lick Commerce Park West Building 2

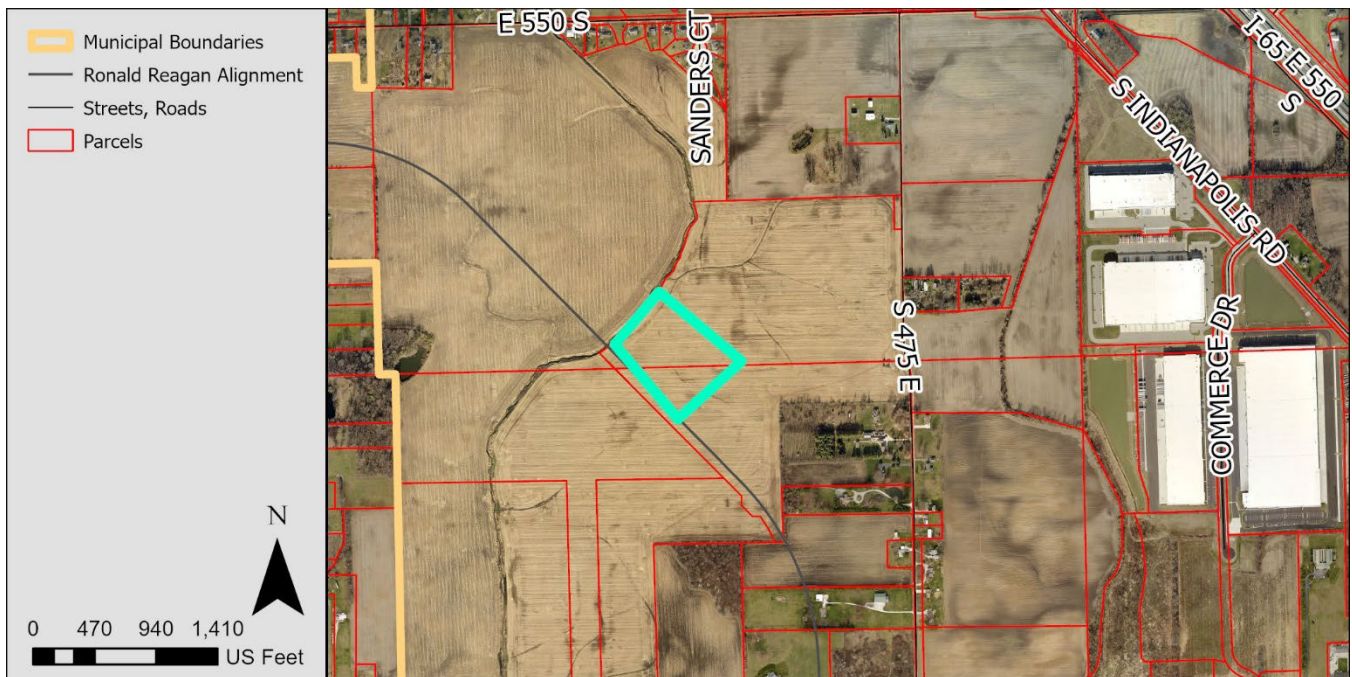
Meeting Date: July 10, 2023

Docket PC23-026-DP – Development Plan – White Lick Commerce Park West Building 2

The petitioner is requesting a review of a Development Plan to be known as White Lick Commerce Park West Building 2. The site in question is located on the East side of County Road 475 E. The site is zoned Light Industry (I-1). The petitioner is proposing to construct a 182,564-square-foot industrial use and associated parking on approximately 10.15 acres. The applicant and owner is 65 Commerce West Industrial Holdings, LLC.

Location

Located on County Road 475 E approximately 1,992 feet south of County Road E 550 South. The surrounding area is characterized by Industrial uses and Agriculture Uses to the East. The approved White Lick Commerce Park Building 1 is located to the east of the site and the proposed Ronald Reagan Parkway is located to the southwest.



History

1. In 2022, the Whitestown Plan Commission recommended approval to rezone the site and surrounding area from Agriculture (AG) to General Industrial (I-2) (PC22-016-ZA Braun Smith). The Town Council subsequently approved the rezone (ORD 2022-19)
2. In 2022, the Whitestown Plan Commission approved a Primary Plat to subdivide the site and surrounding area (PC22-044-PP White Lick Creek Industrial Plat) and a Concept Plan (PC22-045-CP White Lick Creek Phase 1) for the site in question.
3. In 2022, the Whitestown Plan Commission approved a primary plat and development plan that subdivides the area and builds a 621,829 sqft building. (PC23-008-PP and PC23-009-DP)

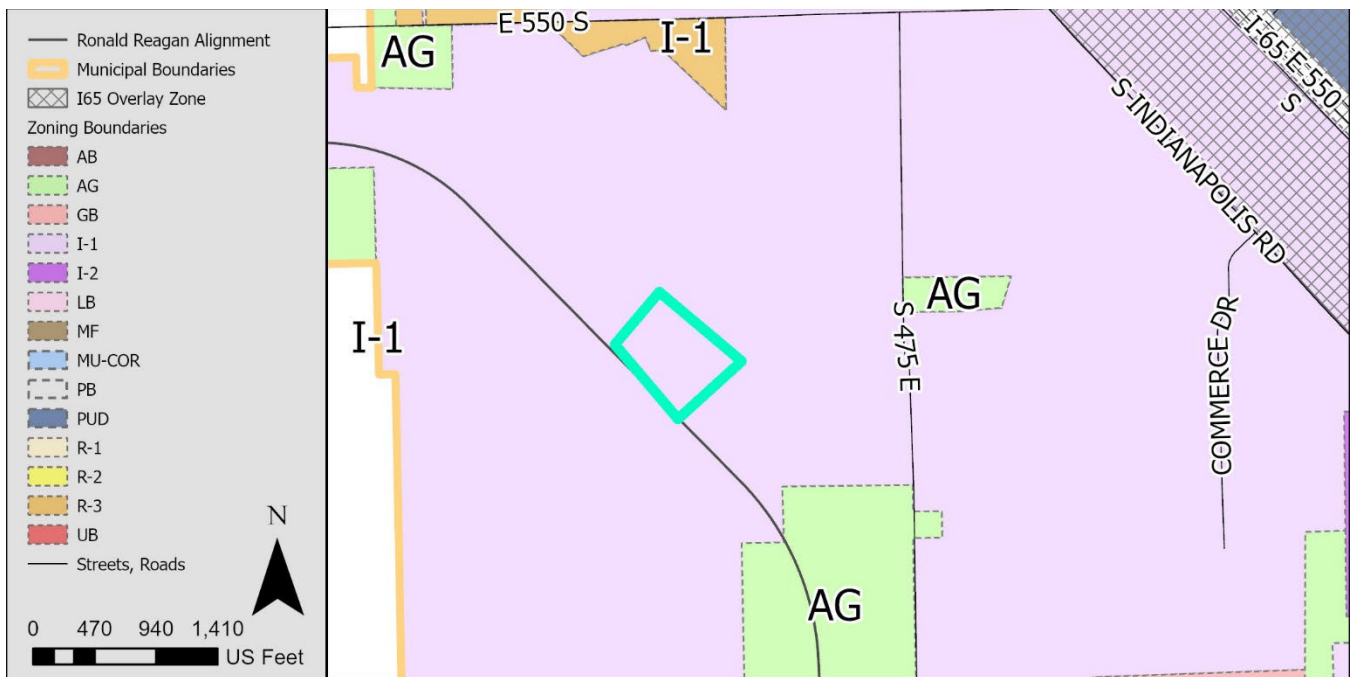
Proposed Development

The proposed development is located on approximately 10.15 acres and is currently vacant. The submitted plans and materials indicate the following:

- Proposed 182,564 square foot building footprint.
 - o Proposed building height of 42-4”.
- Proposed on-site parking.
 - o 181 standard parking stalls.
 - o 8 ADA parking stalls.
 - o 8 bicycle spaces.
- Sidewalk connection from the CR S 475 E pedestrian path to the site;
 - o Sidewalk around the front and side of the building.
- Proposed access curb cut onto Road A/ Future Ronald Reagan Parkway,
- Access will be on CR S 475 E until the completion of Ronald Reagan Parkway
- Building location meeting required site setbacks.
- Landscaping plan that meets the requirements of the UDO;
- Photometric plan that meets the requirements of the UDO; and,
- Architectural elevations that meet the requirements of the UDO.

Zoning

The site in question is zoned I-1 and is part of the Light Industrial classification. “This district is established to accommodate light industrial uses in which all operations, including storage of materials would be confined within a building, and would include warehousing operations. Development in this district requires connection to public water and public sewers and development plan approval.”



Staff Recommendation

Staff is providing a favorable recommendation for the White Lick Commerce Park West Building 2 Development Plan Docket PC23-026-DP. The petitioner is in compliance with the commitments associated with the rezone. The petitioner is proposing to construct a 182,564 square foot industrial building with associated parking on approximately 10.15 acres.

Staff’s recommendation to Plan Commission finds the development plan complies with the following requirements in accordance with UDO Section 11.8 E. and approval be granted upon:

1. ***The proposed Development Plan is in compliance*** with all applicable development and design standards of the zoning district where the real estate is located.
2. ***The proposed Development Plan manages traffic*** in a manner that promotes health, safety, convenience, and the harmonious development of the community.
3. ***The applicable utilities have enough capacity*** to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service to meet the needs to the proposed development.

Materials Submitted by the Applicant



June 1, 2023

Mr. Todd Barker
Whitestown Municipal Complex
6210 Veterans Drive
Whitestown, IN 46075

RE: 65 Commerce Park West – Phase 1B - Project Narrative

Location: 5601 S SR 267; 4175 E 550 S; 6002 S 475 E; 4002 E Whitestown Pkwy; 4400 E Whitestown Pkwy, 6050 S 475 E, 6100 S 475 E, 6150 S 475 E and adjacent landlocked parcel

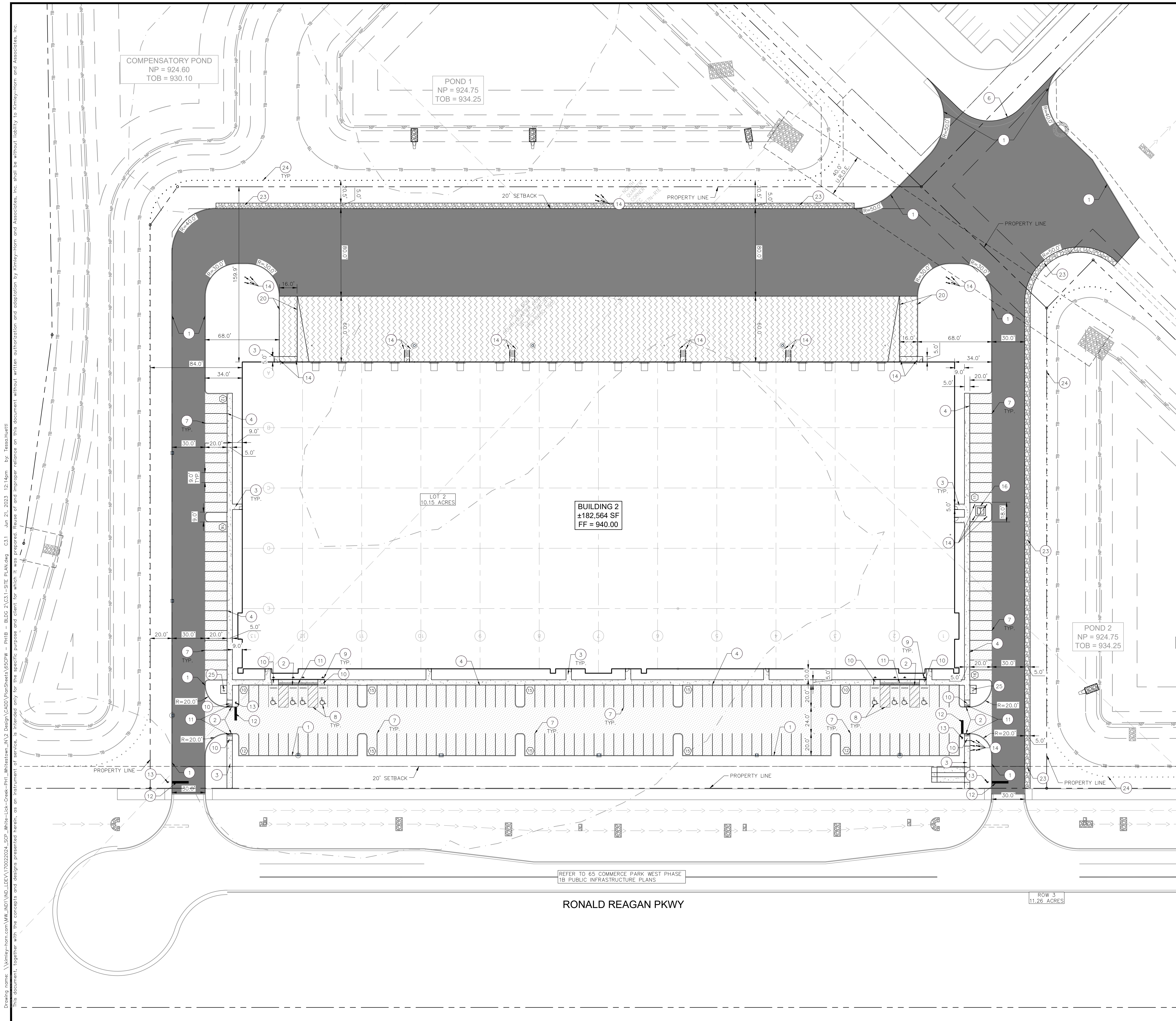
The project site is currently zoned I-1. The scope of this project is to develop Phase 1B of the 65 Commerce Park West industrial development. Phase 1B will consist of one ±182,564 SF industrial building (Building 2) with associated access drives, parking areas and utilities to serve the development. In addition to the private onsite improvements, Phase 1B will include constructing Road A south of Building 1 and a portion of the future Ronald Reagan Parkway extension southwest of Building 2. Stormwater runoff from Phase 1B will be routed to a network of stormwater detention basins constructed with Phase 1A which will discharge to White Lick Creek (west) and Etter Ditch (east). The project will include fill within the White Lick Creek floodplain which is offset by a compensatory storage pond constructed with Phase 1A.

Please contact me at (317) 218-9560 or bryan.sheward@kimley-horn.com should you have any question.

Sincerely,

A handwritten signature in black ink that reads "Bryan Sheward". The signature is written in a cursive, flowing style.

Bryan A. Sheward, P.E.
Project Manager



PAVING LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	GRAVEL SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION

KEY NOTES

1. CONCRETE CURB, TYP. (SEE DETAILS)
2. DEPRESSED CONCRETE CURB AND GUTTER (SEE DETAILS)
3. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
4. COMBINED CURB AND WALK (SEE DETAIL) (5' FROM FACE OF CURB)
5. CONCRETE CURB AND GUTTER (SEE DETAILS)
6. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
7. 4" WIDE PAVEMENT MARKINGS, WHITE SOLID STRIPE, TYP.
8. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
9. ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
10. ACCESSIBLE RAMP (SEE DETAILS)
11. 2" WIDE TACTILE WARNING STRIP
12. 24" WIDE STOP BAR
13. STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
14. 6" BOLLARD, TYP. (SEE DETAILS)
15. POTENTIAL FENCE ENCLOSED DUMPSTER ENCLOSURE (SEE DETAILS)
16. TRANSFORMER PAD
17. LIGHT POLES SHOWN FOR COORDINATION ONLY (REFER TO PHOTOMETRIC PLAN)
18. BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS)
19. 3'-FT TRANSITION CURB
20. MONOLITHIC 6" CONCRETE CURB
21. 5'x5' CONCRETE STOOP
22. CROSSWALK STRIPPING (2' @ 4' oc)
23. MOW STRIP
24. 6"x6" WOOD POSTS (5' OC, SEE DETAILS)
25. BICYCLE PARKING RACK (SEE DETAILS)

GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

Drawing name: \\kimley-horn.com\MM\IND\DEVA\170022024_SCP_White-Like-Creek-PH1_Whitestown\12_Design\CADD\PlanSheets\GSPW - PH1B - BLDG 2\C31-SITE PLAN.dwg - C31 Jun 21, 2023 12:14pm By: tessalutti
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AS NOTED DESIGNED BY: TNH DRAWN BY: TNH CHECKED BY: BAS	WHITESTOWN TAC COMMENTS 06/22/23	REVISIONS NO. DATE BY
 2023 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 550, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM		
 NOT APPROVED FOR CONSTRUCTION		
 STRATEGIC CAPITAL PARTNERS		
SITE PLAN		
65 COMMERCE PARK WEST - PHASE 1B BUILDING 2 ADDRESS TBD		
ORIGINAL ISSUE: 06/01/2023 KHA PROJECT NO. 170022024 SHEET NUMBER		
C3.1		

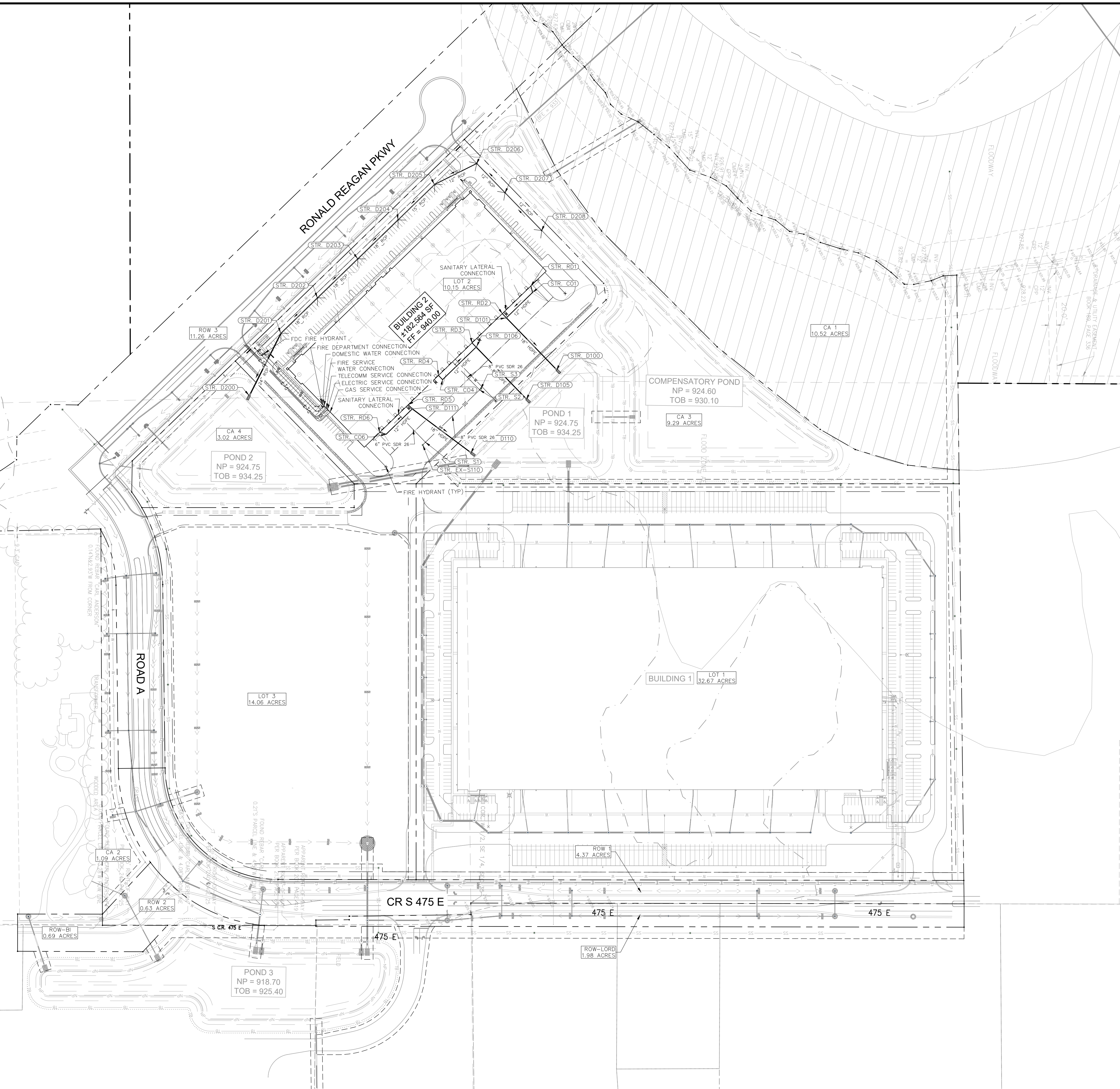
Drawing name: \\kimley-horn.com\kha\170022024\SCF_White-Like-Creek-PH1_Whitestown\2_Design\CADD\Plans\Sheet\C660 - BLDG 2\06 OVERALL UTILITY PLAN.DWG C6.0 Jun 21, 2023 12:17pm by: tessahliu
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GRAPHIC SCALE IN FEET
0 60' 120' 240'

No.	REVISIONS	DATE	BY

WHITESTOWN TAC COMMENTS



UTILITY LEGEND

	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED ROOF DRAIN LINE
	PROPOSED UNDERDRAIN
	PROPOSED SWALE
	PROPOSED STORM SEWER LINE
	STRUCTURE ID
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY LATERAL LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED FIRE PROTECTION LINE
	PROPOSED FIRE HYDRANT, FIRE DEPT CONN. & VAULT
	PROPOSED WATER VALVE BOX, PIV, METER
	PROPOSED WATER BENDS & TEE
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (BY OTHERS)

- ### FIRE DEPARTMENT NOTES
1. DOMESTIC WATER SERVICE AND FIRE PROTECTION SYSTEMS ARE REQUIRED TO HAVE AN APPROVED CROSS CONNECTION CONTROL DEVICE WITH BACKFLOW PREVENTION AND DOUBLE CHECK DETECTOR INSTALLED IN ACCORDANCE WITH THE TOWN OF WHITESTOWN STANDARDS. TYPE OF DEVICE WILL BE DETERMINE BY THE DEGREE OF HAZARD. COORDINATE DEVICES WITH THE FIRE DEPARTMENT.
 2. A KNOX BOX IS REQUIRED ON THE BUILDING ADJACENT TO A MAIN ENTRANCE AND THE NEAREST DOOR(S) TO THE PUMP ROOM AND ELECTRICAL SHUTOFF IN ACCORDANCE WITH THE TOWN STANDARDS. COORDINATE LOCATION WITH THE TOWN OF WHITESTOWN FIRE DEPARTMENT.
 3. A FIRE DEPARTMENT CONNECTION (FDC) CONSISTED OF A 5" STORZ CONNECTION IN ACCORDANCE WITH THE TOWN OF WHITESTOWN STANDARDS IS REQUIRED FOR THE SPRINKLER CONNECTION WITH A 30" BEND DOWNWARD IF LOCATED 3 FEET ABOVE FINISHED GRADE. THE FDC SHALL BE PAINTED RED AND BE WITHIN 25' OF A PUBLIC FIRE HYDRANT. THE CONNECTION TO THE BUILDING BE OF DUCTILE IRON PIPE (DIP). ALL ABOVE GROUND FDC PIPE SHALL BE PAINTED RED.
 4. ADDITIONAL FIRE DEPARTMENT REQUIREMENTS MAY BE REQUIRED UPON INSPECTION FOR ACCEPTANCE BY THE FIRE DEPARTMENT OFFICIALS. COST INCURRED SHALL BE INCIDENTAL TO THE CONTRACT.
 5. ALL PRIVATE HYDRANTS WITHIN THE INDUSTRIAL DEVELOPMENT SHALL BE PAINTED YELLOW PER WHITESTOWN STANDARD FIRE HYDRANT DETAIL (SHEET NO. 6)
 6. THE FDC HYDRANT SHALL BE PAINTED PER FDC FIRE HYDRANT COLORING DETAIL (SEE DETAILS)

SCALE: AS NOTED

DESIGNED BY: TNH

DRAWN BY: TNH

CHECKED BY: BAS

STRATEGIC CAPITAL PARTNERS

65 COMMERCE PARK
WEST - PHASE 1B
BUILDING 2
ADDRESS TBD

OVERALL UTILITY
PLAN

ORIGINAL ISSUE:
06/01/2023

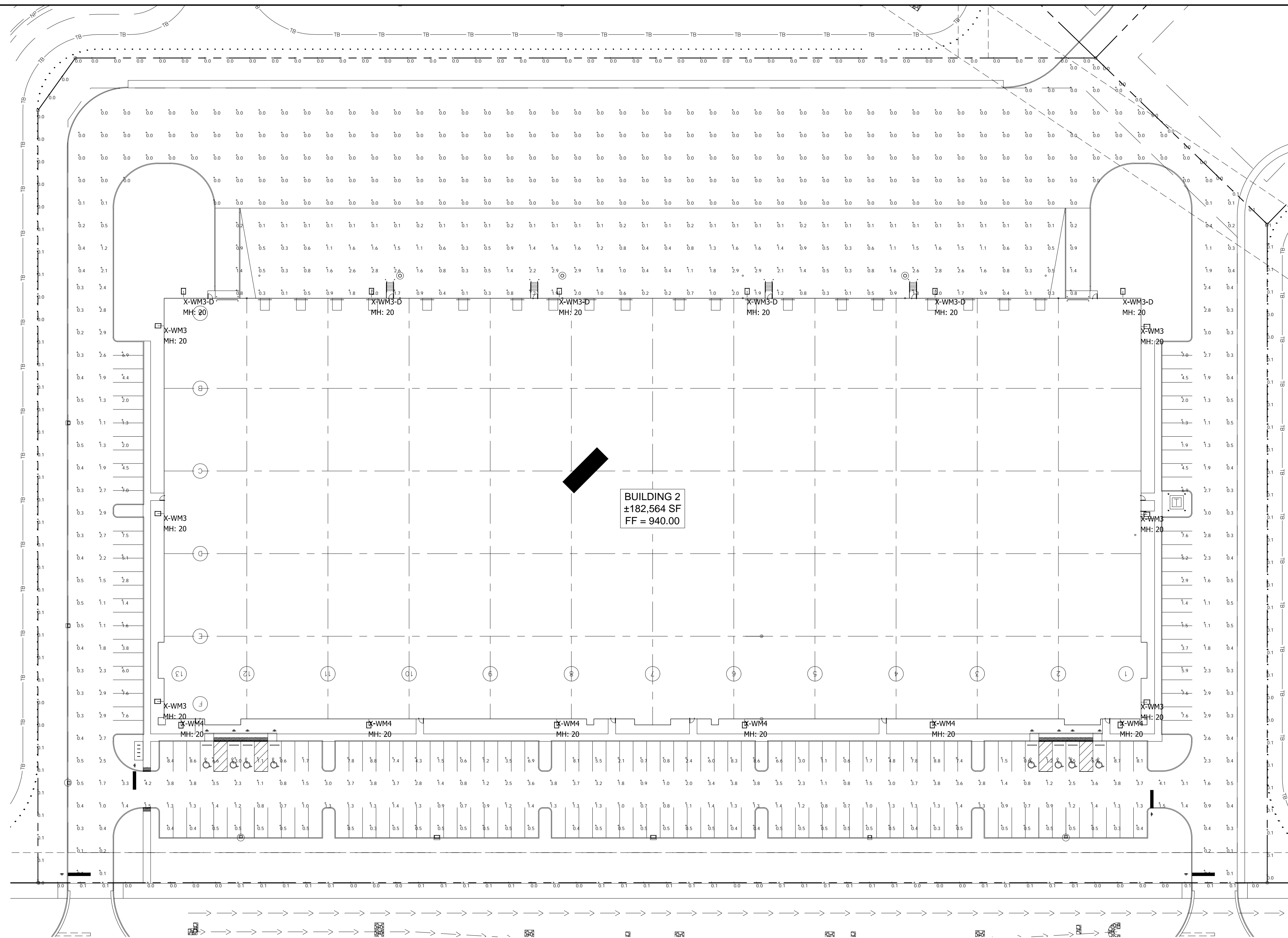
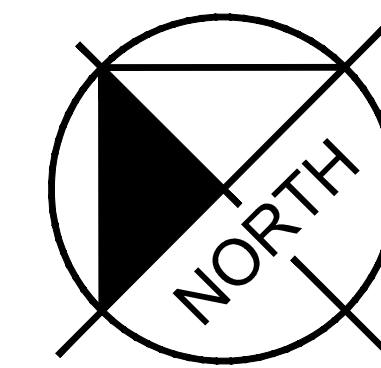
KHA PROJECT NO.
170022024

SHEET NUMBER

C6.0

GENERAL PLAN NOTES

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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
	6	X-WM4	Wall Mount	38284	0.900	288	MRM-LED-36L-SIL-FT-30-70CRI
	6	X-WM3-D	Wall Mount	9242	0.900	62.5	MRS-LED-09L-SIL-3-30-70CRI
	6	X-WM3	Wall Mount	32656	0.900	232	MRM-LED-30L-SIL-3-30-70CRI

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
_Property Line	Illuminance	Fc	0.05	0.1	0.0	N.A.	N.A.	
Car Parking & Drives	Illuminance	Fc	2.06	8.8	0.1	20.60	88.00	
Trailer Paved Areas & Drives - Overall	Illuminance	Fc	0.35	2.9	0.0	N.A.	N.A.	
60' Dock Apron	Illuminance	Fc	0.88	2.9	0.1	8.80	29.00	

MATCHING SITE STANDARDS

LIGHTING NOTES:

- Mounting Height = 20' Building
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)
50/30/20 (warehouse areas)

National Lighting Vendor:

For pricing and technical assistance contact:
Russ Miller of CBMC INC, tel# 317-697-7510,
rmiller@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, (other than that within the organization necessary to evaluate such specification) without the written permission of CBMC Lighting Solutions. The contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. copyright © 2018 CBMC Lighting Solutions all rights reserved.



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This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

65 Commerce Park West Phase 1B

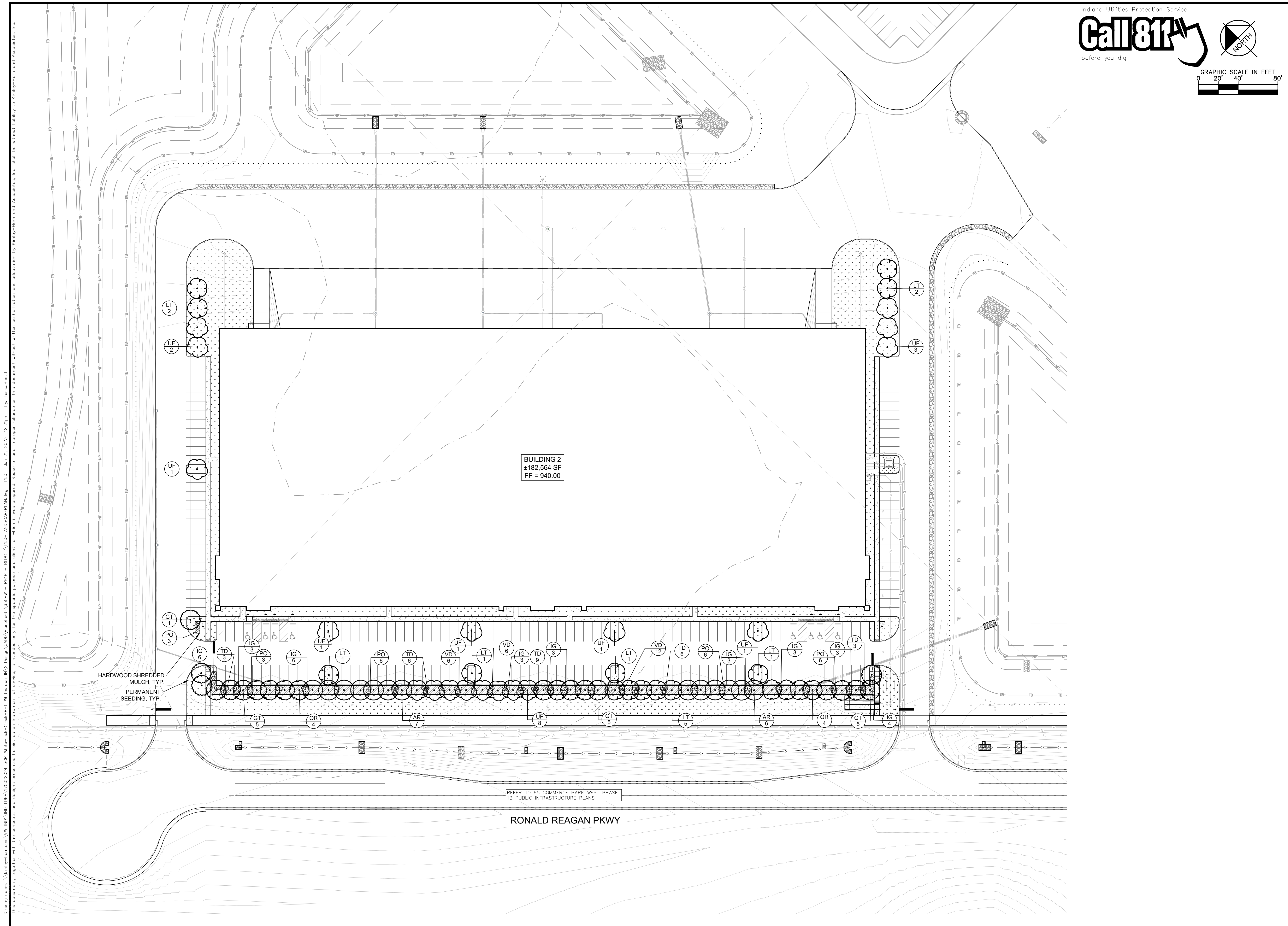
SITE LAYOUT

Scale:	1" = 40'	Drawing No:	LP1
Date:	6/19/23	Project No:	CB23495-SITE-2
Drawn By:	SJM		

Drawing name: \\kimley-horn.com\kha\170022024_SCP_White-Like-Creek-PH1-Whitestown\12-Design\CAD\PlanSheets\GSPW - PH1B - BLDG 2\L10-LANDSCAPE\Landing_L10 Jun 21, 2023 12:21pm by: resschmitt
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GRAPHIC SCALE IN FEET
0 20' 40' 80'



No.	REVISIONS	DATE	BY

WHITESTOWN TAC COMMENTS: 06/22/23 TNH

SCALE: AS NOTED
DESIGNED BY: TNH
DRAWN BY: TNH
CHECKED BY: BAS

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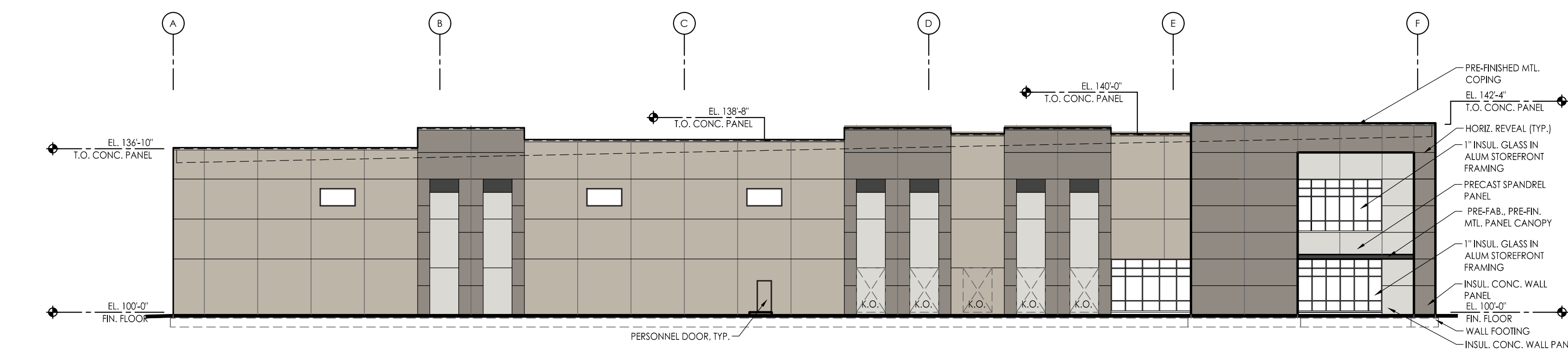
Michelle Koper

STRATEGIC CAPITAL PARTNERS

LANDSCAPE PLAN

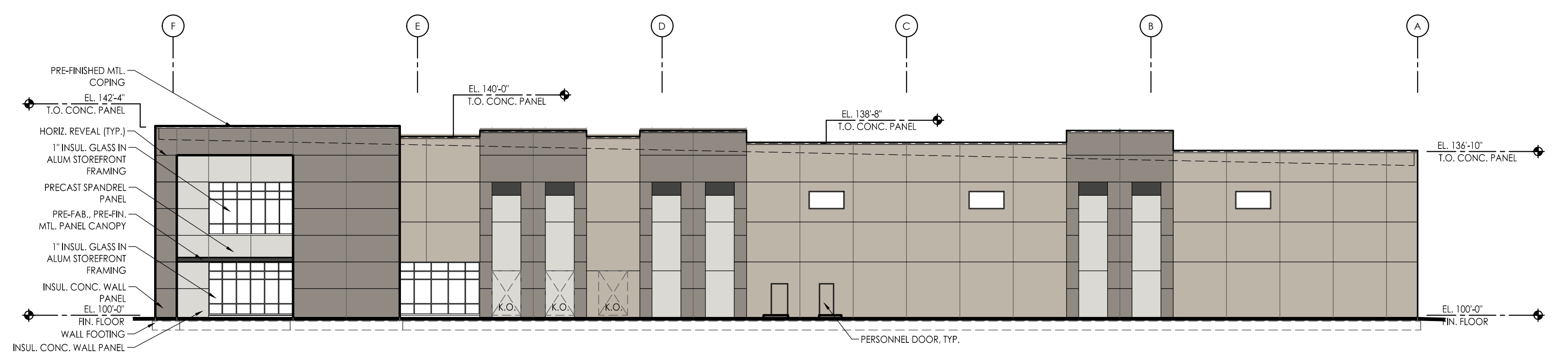
65 COMMERCE PARK WEST - PHASE 1B BUILDING 2 ADDRESS TBD

ORIGINAL ISSUE: 06/01/2023
KHA PROJECT NO. 170022024
SHEET NUMBER
L1.0



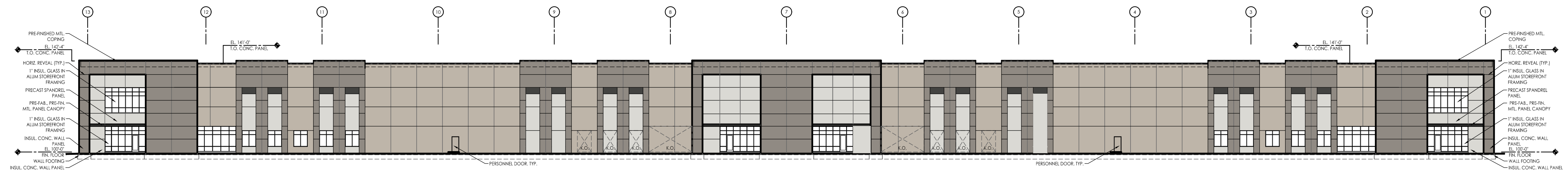
NORTH ELEVATION

1" = 20'-0" (24x36)
0 5' 10' 20' 40'



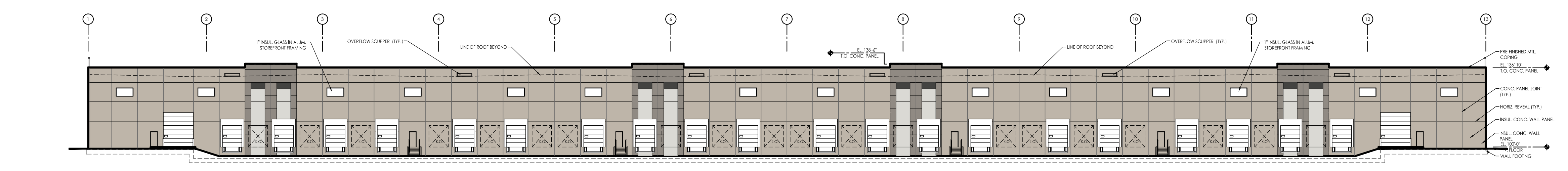
SOUTH ELEVATION

1" = 20'-0" (24x36)
0 5' 10' 20' 40'



WEST ELEVATION

1" = 30'-0" (24x36)
0 10' 20' 30' 60'



EAST ELEVATION

1" = 30'-0" (24x36)
0 10' 20' 30' 60'

EXTERIOR COLOR SCHEDULE					
ITEM	MFG.	COLOR	ITEM	MFG.	COLOR
CONCRETE WALL PANELS			HOLLOW METAL DOORS	SHERWIN-WILLIAMS	MATCH ADJACENT FIELD COLOR
COLOR A	SHERWIN-WILLIAMS	SW 7446 - FIRST STAR	HOLLOW METAL FRAMES	SHERWIN-WILLIAMS	MATCH ADJACENT FIELD COLOR
COLOR B	SHERWIN-WILLIAMS	SW 7044 - AMAZING GRAY	OVERHEAD DOORS	MANUFACTURERS STANDARD	WHITE
COLOR C	SHERWIN-WILLIAMS	SW 7018 - DOVETAIL	BUILDING COPING	UNIK-CLAD	SLATE GRAY
COLOR D	SHERWIN-WILLIAMS	SW 7038 - IRON ORE	CANOPY COPING	UNIK-CLAD	DARK BRONZE
ALUM WINDOW & DOOR FR	MANUFACTURERS STANDARD	DARK BRONZE ANODIZED	ALUM LOUVERS	MANUFACTURERS STANDARD	CLEAR ANODIZED
GLASS	WERB	SOLAR BRONZE OVER SOLARBAN 805	STEEL BOLARDS	MANUFACTURERS STANDARD	SAFETY YELLOW
CANOPY FASCIA PANELS	CITADEL PANEL 20	DARK BRONZE ANODIZED	EXTERIOR WALL MTD. LIGHTS	MANUFACTURERS STANDARD	WHITE OR GRAY
CANOPY SCRIP PANELS	CITADEL PANEL 20	DARK BRONZE ANODIZED			

- 9.7 INDUSTRIAL ARCHITECTURAL STANDARDS**
- A. BUILDING DESIGN TO BE COMPLIMENTARY TO PROPOSED BUILDINGS 1 & 3.
 - B. THERE WILL NOT BE ANY ROOF MOUNTED EQUIPMENT FOR THE BUILDING SHELL. FUTURE ROOFTOP EQUIPMENT WILL BE SCREENED BY THE PARAPET WALLS.
 - C. THREE BUILDING MATERIALS:
 1. PAINTED PRECAST WALL PANELS.
 2. TINTED, NON-REFLECTIVE BRONZE GLASS.
 3. PRE-FINISHED METAL CANOPIES AT THE ENTRIES.
 - D. 4'-0" DEEP PROJECTIONS ARE PROVIDED AT THE BUILDING CORNERS AND ARE 55'-0" WIDE. AN ADDITIONAL 4'-0" DEEP PROJECTION IS PROVIDED AT THE CENTER OF THE WEST ELEVATION AND IS 88'-0" WIDE.
 - E. LOADING DOCKS ARE ON THE EAST WALL WHICH FACTS INTO THE INDUSTRIAL PARK.
 - F. ENHANCED FACADE FEATURES FOR NON-MASONRY MATERIALS:
 1. MULTIPLE COLORS WITH REVEALS FOR TEXTURE.