

# WPC Application

This application is being submitted for (check all that apply):

- ☒ Concept Plan      ☐ Development Plan (& Amendment)  
☐ Primary Plat      ☐ Primary Plat Amendment  
☐ Secondary Plat      ☐ Secondary Plat Amendment  
☐ PUD Text Amendment  
☐ Zone Map Change    ☐ Waiver(s)

For Office Use Only	
File #	Fee
Filing	TAC
Hearing/Meeting	
<input type="checkbox"/> Reviewed <input type="checkbox"/> w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Favorable <input type="checkbox"/> Unfavorable <input type="checkbox"/> No Recommendation	

## Applicant Info

Name Anne McBride, FAICP, McBride Dale Clarion	
Street Address 5721 Dragon Way, Suite 300	
City, State, Zip Cincinnati, OH 45227	
Primary Contact Person regarding this petition Anne McBride, FAICP, McBride Dale Clarion	
Phone 513-561-6232	E-Mail amcbride@mcbridedale.com
Engineer Preparing Plans Alen Fetahagic, Kimley Horn	E-Mail Alen.Fetahagic@kimley-horn.com
Others to be Notified Macy Downey, AICP	E-Mail mdowney@mcbridedale.com

## Property Owner


Name Zionswood RE LLC	
Street Address 9820 Association Court	
City, State, Zip Indianapolis, IN 46280	
Phone	E-Mail
Applicant is (circle one): <u>Sole owner</u> Joint Owner    Tenant    Agent    Other (specify)	

## Premises Affected

10-digit Parcel Number 021-14740-06				
Actual/approximate address or location from major streets 6380 Center Drive, Whitestown, IN 46075				
Subdivision Mac's Subdivision Sec 2, Lot 2			Lot Number(s) 2	
Total Acreage 1.24 acres		Flood Zone on Site? No		
Zoning of Subject Property GB		Use of Subject Property Vacant auto shop		
Proposed Zoning GB		Proposed Land Use Kroger Fuel Center		
Zoning of Adjacent Properties	North: GB	South: GB-Rural	East: GB	West: GB-Rural
Land Use of Adjacent Properties	North: retail	South: Proposed retail	East: retail	West: retail

## Notarization

To the best of my knowledge the above information and attached exhibits are true and correct.

Signature of Applicant <i>[Signature]</i>	VP of TW, Inc, its Manager	
Notary Public's Name (printed) Beth A. Patterson	Signature of Notary <i>[Signature]</i>	
My Commission Expires State County Oct. 20, 2030	Subscribed and sworn to before me this 22 day of April 2022	

# Attachment A: Consent of Property Owner

Complete and submit if applicant is different from property owner.

I (we)

Zionswood RE LLC

NAME(S)

After being first duly sworn, depose and say:

- That I/we are the owner(s) of the real estate located at I (we)  
6380 Center Drive, Whitestown, IN 46075  
ADDRESS
- That I/we have read and examined the Application and are familiar with its contents.
- That I/we have no objection to, and consent to such request as set forth in the application.
- That such request being made by the applicant ( ) is ( ) is not) a condition to the sale or lease of the above referenced property.

[Signature] VP of TW, Inc, its Manager  
(AFFIANT)

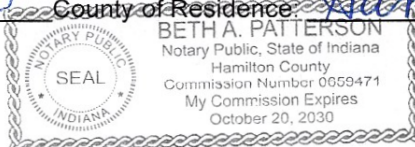
STATE OF INDIANA )

COUNTY OF Hamilton SS:

Subscribed and sworn to before me this 22<sup>nd</sup> day of April 2025.

Beth A. Patterson  
Beth A. Patterson, Notary Public

My Commission expires: 04.20.2030 County of Residence: Hamilton



**Kroger Fuel Center - Whitestown, IN**  
**Project Description**  
**April 30, 2025**

Kroger proposes to develop a new Kroger Fuel Center on 1.24+/- acres of land at 6380 Center Drive, within the Town of Whitestown (parcel 0211474006). This land is zoned "GB" General Business District which allows fuel stations as a Special Exception. The property is currently a vacant tire store. The proposed fuel center will have seven double-sided dispensers (14 fueling positions), five parking spaces, and a 277 square foot kiosk for the Kroger associate.

Access to the site is proposed off Center Drive with one full movement access and one right-in/right-out access point, closest to the proposed roundabout. The site will also preserve the existing shared access point with the adjacent Taco Bell. The existing all-way stop intersection at Center Drive and Macs Avenue will be reconstructed as a single-lane roundabout. The south leg of the intersection of Whitestown Parkway and Macs Avenue will be widened to provide a northbound right turn lane onto Whitestown Parkway.

The landscaping on site will include plantings between the parking area and property lines. While plantings are not possible along portions of Center Drive and Whitestown Parkway due to utility and drainage easements, the site provides the required total number of plantings on the site necessary to meet code requirements.

The kiosk and canopy columns will be designed with a mixture of decorative brick and block. The fascia on the kiosk and canopy will be designed with neutral colors to complement the proposed adjacent Kroger store. The height of the canopy is proposed at 19 feet and the height of the kiosk is proposed at 11 feet.

The following signage is proposed on site:

- Canopy:
  - North Elevation – 30.3 square foot LED price panel sign.
  - South Elevation – 30.3 square foot LED price panel sign.
- Kiosk:
  - North Elevation – 14 square foot "Kroger" sign.
  - South Elevation – 14 square foot "Kroger" sign.
- Freestanding:
  - Monument Sign – 60 square feet, 7'10" in height.
  - Existing Development Sign – Panel replacement only.

On March 6, 2025, Kroger received approval from the Whitestown Board of Appeals for a Special Exception to all and variances from the following sections of the Whitestown Zoning Code and the Boone County I-65 Corridor Overlay:

1. A variance from Section 157.205 (I)(4) was approved to allow a 277 square-foot kiosk building where a minimum size of 2,500 square feet is required to allow for maximum maneuverability and visibility on site for customers.
2. A variance from Section 157.205 (I)(1)(a) was approved to allow the fuel canopy at 19 feet in height where a minimum building height of 20 feet is required to provide assurance that large-sized trucks will not try to obtain fuel at this location.

3. A variance from Section 8.9(R) was approved to allow two 30.3 square foot signs on the fuel canopy where an area of 12 square feet is permitted to allow sufficient readability from the adjacent rights-of-way and proposed Kroger parking lot to the rear, across Center Drive.

Kroger is excited to bring this investment to the Town of Whitestown in conjunction with the new Kroger Marketplace store to the south. We respectfully request approval of the presented concept and development plans.

# LAND DESCRIPTION

## SUBJECT PARCEL 1

WARRANTY DEED

INST. 201300013724, RECORDED 12/06/2013

GRANTOR: GK MACS, LLC

GRANTEE: ZIONSWOOD RE, LLC

LOT NUMBERED 2 IN MACS SUBDIVISION, SECTION TWO, A SUBDIVISION IN EAGLE TOWNSHIP, BOONE COUNTY, INDIANA, AS PER PLAT THEREOF RECORDED OCTOBER 7, 1999 IN PLAT BOOK 11, PAGE 14, AS INSTRUMENT NO. 9912418, IN THE OFFICE OF THE RECORDER OF BOONE COUNTY, INDIANA.



0210393101

N PARKWAY

MACS AVE

0031474007

GRANITE DRIVE

0211474006

0031474003

CENTER DRIVE

0211474004

0211474007

0031474005





# CIVIL ENGINEERING PLANS

# KROGER FUEL CENTER AND PUBLIC

# IMPROVEMENTS

6380 CENTER DRIVE  
WHITESTOWN, IN 46075

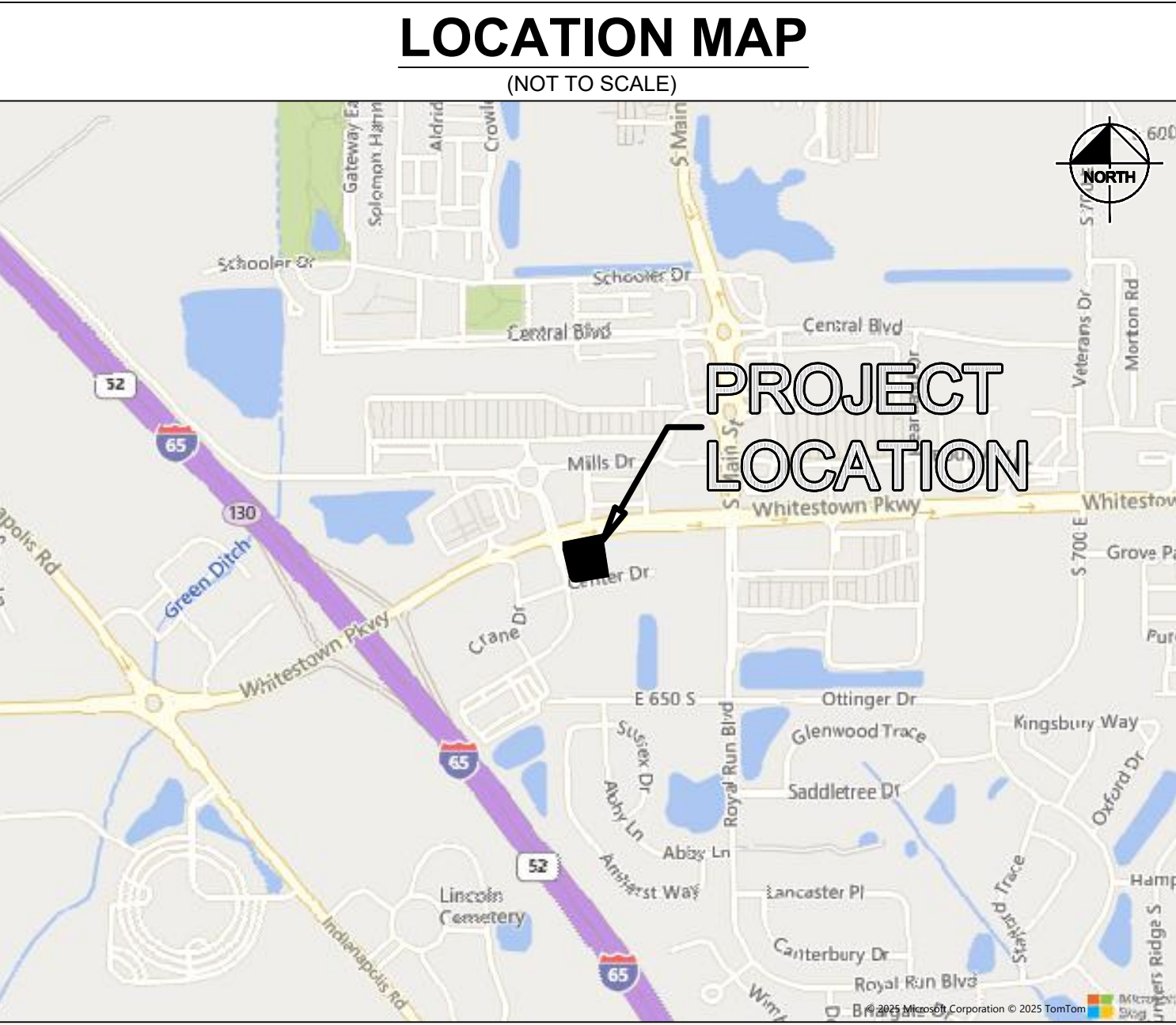
DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE TOWN OF WHITESTOWN, INDIANA STANDARD SPECIFICATIONS AND DETAILS (LAST REVISED JULY 2018), THE BOONE COUNTY, INDIANA STORMWATER TECHNICAL STANDARDS MANUAL (LATEST EDITION) AND THE TOWN OF WHITESTOWN UNIFIED DEVELOPMENT ORDINANCE (JULY 2020).

UTILITY AND GOVERNING AGENCY CONTACTS				
SERVICE / JURISDICTION	COMPANY / DEPT.	ADDRESS	PHONE NUMBER	CONTACT
SANITARY SEWER	TOWN OF WHITESTOWN	MUNICIPAL COMPLEX, ROOM 600 6210 VETERANS DR. WHITESTOWN, IN 46075	317-733-8584	SRI VENUGOPALAN
STORM SEWER	BOONE COUNTY SURVEYORS OFFICE	116 W. WASHINGTON ST #102 LEBANON, IN 46052	765-483-4444	CAROL CUNNINGHAM
WATER	TOWN OF WHITESTOWN	MUNICIPAL COMPLEX, ROOM 600 6210 VETERANS DR. WHITESTOWN, IN 46075	317-733-8584	SRI VENUGOPALAN
NATURAL GAS	CENTERPOINT ENERGY	100 W. 26TH ST. WHITESTOWN, IN 46075	317-736-2915	KIM KELLY
ELECTRICITY	BOONE COUNTY REMC	5000 N WHEELING AVE. MUNCIE, IN 47304	765-894-1084	JERRY LASLEY
TELEPHONE / COMMUNICATIONS	TDS TELECOM	1 N. MAIN ST. WHITESTOWN, IN 46075	765-769-1111	JEFF STANLEY
STREETS	TOWN OF WHITESTOWN	MUNICIPAL COMPLEX, ROOM 600 6210 VETERANS DR. WHITESTOWN, IN 46075	317-733-8584	SRI VENUGOPALAN
PLANNING AND ZONING	WHITESTOWN PLANNING DEPARTMENT	MUNICIPAL COMPLEX, ROOM 600 6210 VETERANS DR. WHITESTOWN, IN 46075	317-732-4535	TODD BARKER

PROJECT TEAM				
ROLE	COMPANY	ADDRESS	PHONE NUMBER	CONTACT
DEVELOPER	KROGER COMPANY	5960 CASTLEWAY W. DRIVE INDIANAPOLIS, IN 46250	(317) 629-5081	WILLIAM ORTIZ
CIVIL ENGINEER	KIMLEY-HORN & ASSOCIATES, INC.	500 E. 96TH ST., STE 300, INDIANAPOLIS, IN 46240	(317) 218-9560	PATRICK SOWINSKI, PE
LANDSCAPE ARCHITECT	KIMLEY-HORN & ASSOCIATES, INC.	500 E. 96TH ST., STE 300, INDIANAPOLIS, IN 46240	(317) 218-9560	ELIZABETH VANSICKLE, PLA
LAND SURVEYOR	SCHNEIDER GEOMATICS	HISTORIC FORT HARRISON 8901 OTIS AVENUE INDIANAPOLIS, IN 46216	(317) 826-7100	MARK HENNESSEY

**LEGAL DESCRIPTION**

LOT NUMBERED 2 IN MACS SUBDIVISION, SECTION TWO, A SUBDIVISION IN EAGLE TOWNSHIP, BOONE COUNTY, INDIANA, AS PER PLAT THEREOF RECORDED OCTOBER 7, 1999 IN PLAT BOOK 11, PAGE 14, AS INSTRUMENT NO. 9912418, IN THE OFFICE OF THE RECORDER OF BOONE COUNTY, INDIANA.

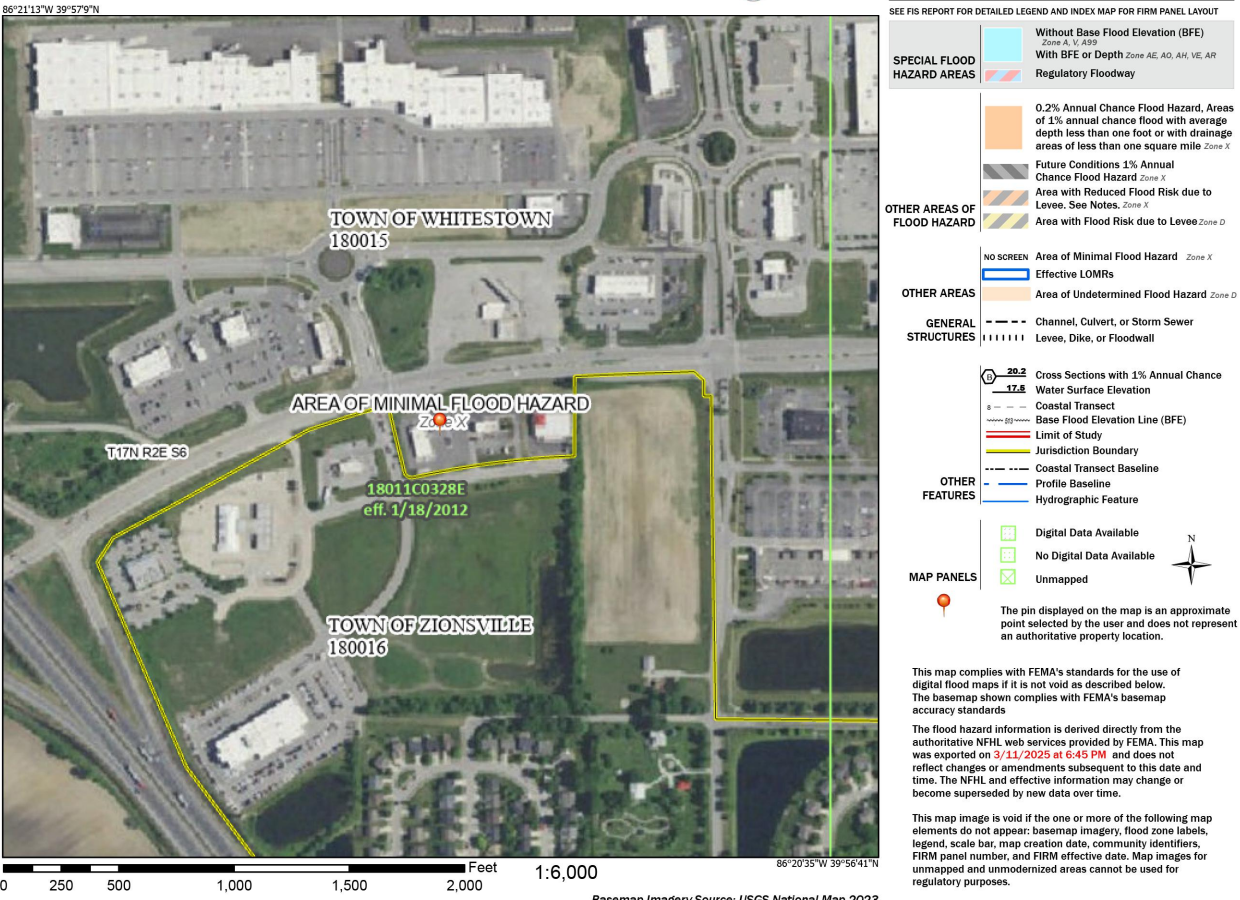


**BOONE COUNTY**

CONSTRUCTION OF A FUEL CENTER FOR KROGER ON ±1.23 AC AND INTERSECTION IMPROVEMENT (ROUNDAABOUT) AT CENTER DRIVE & MAC'S AVENUE. PROJECT IS IN SECTION 6 OF T17N, R2E IN WHITESTOWN, BOONE COUNTY, INDIANA.

Sheet List Table	
Sheet Number	Sheet Title
C0.0	TITLE SHEET
C1.0	GENERAL SPECIFICATIONS
C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS AND DEMO PLAN
C3.0	SITE PLAN
C4.0	INITIAL EROSION CONTROL PLAN
C4.1	TEMPORARY EROSION CONTROL PLAN
C4.2	FINAL EROSION CONTROL PLAN
C4.3	EROSION CONTROL DETAILS
C4.4	SWPPP
C5.0	GRADING AND DRAINAGE PLAN
C5.1	DETAIL PAD GRADING PLAN
C6.0	UTILITY PLAN
C6.1	STRUCTURE DATA TABLE
C6.2	STORM PROFILES
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
E1.0	PHOTOMETRIC PLAN
R2.0	TYPICAL SECTIONS
R2.1	TYPICAL SECTIONS
R2.2	DEMOLITION PLAN
R3.0	ALIGNMENT CONTROL
R3.1	OVERALL ROAD PLAN
R3.2	PHASE 1 MOT
R3.3	PHASE 2 MOT
R3.4	PHASE 2 MOT DETOUR
R3.5	PHASE 3 MOT
R3.6	PHASE 3 DETOUR PLAN
R3.7	PHASE 4A MOT
R3.8	PHASE 4B MOT
R3.9	ROAD PROFILES
R3.10	ROAD PROFILES
R3.11	ROAD PROFILES
R3.12	ROAD PROFILES
R3.13	DIMENSION CONTROL PLAN
R5.0	OVERALL GRADING AND DRAINAGE PLAN
R7.0	LIGHTING PLAN
T1.0	TRAFFIC SIGNAL PLAN

National Flood Hazard Layer FIRMette



Kimley-Horn

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500 EAST 96TH STREET, SUITE 300,  
INDIANAPOLIS, IN 46240  
WWW.KIMLEY-HORN.COM

AS NOTED  
DESIGNED BY: JLC  
DRAWN BY: JLC  
CHECKED BY: PGS

PATRICK G. SOWINSKI  
REGISTERED PROFESSIONAL ENGINEER  
NOTED FOR CONSTRUCTION

Kroger

GENERAL OFFICE  
FAX: (317) 764-4612  
194 WEST 1ST AVENUE, SUITE 400  
PE: (317) 764-4612

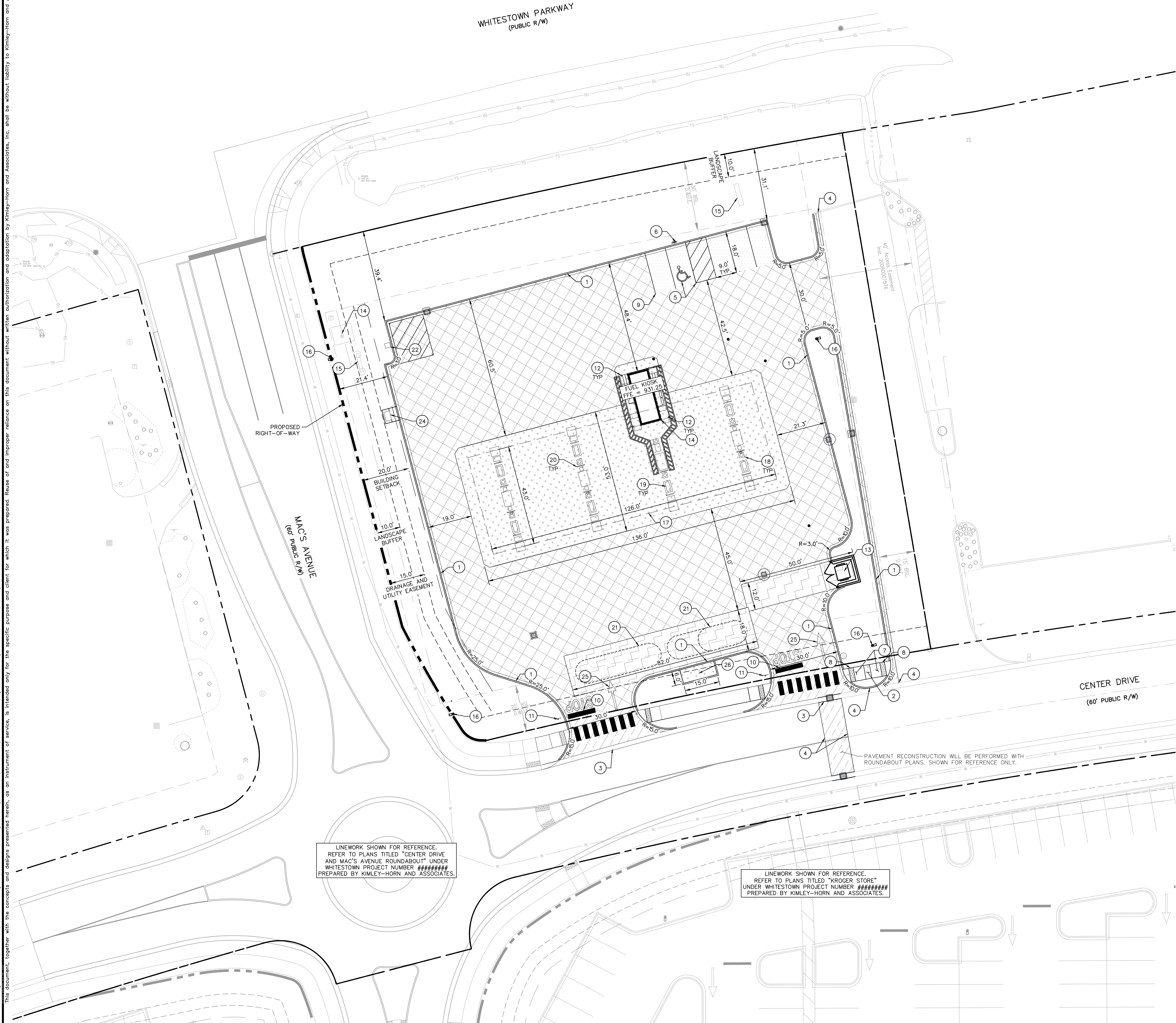
TITLE SHEET

KROGER FUEL CENTER  
WHITESTOWN, IN

ORIGINAL ISSUE:  
05/01/2025  
KHA PROJECT NO.  
170529000  
SHEET NUMBER  
C0.0

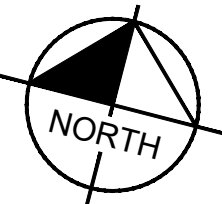


Drawing name: K:\IND\DEV\170529000\_Kroger\_Zonsivile\_A\2 Design\CADD\plansheets\Fuel center\C3.0-SITE PLAN.dwg C3.0 May 01, 2025 12:13pm by: Jennifer Cohlaine  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



Indiana Utilities Protection Service

**Call 811**  
before you dig



### PAVING LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	LIGHT DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

### SITE SUMMARY

SITE ZONING	=	GB
SITE ACREAGE	=	1.17 AC.±
BUILDING AREA	=	177 S.F.±
BUILDING HEIGHT	=	11 FT
CANOPY AREA	=	5418 S.F.±
CANOPY HEIGHT	=	19 FT (MIN.)
REQUIRED PARKING SPACES PER WHITESTOWN CODE	=	2 SPACES
REQUIRED PARKING SPACES (ACCESSIBLE)	=	1 SPACE
PARKING SPACES (STANDARD) PROVIDED	=	4 SPACES
PARKING SPACES (ACCESSIBLE) PROVIDED	=	1 SPACE
TOTAL PARKING SPACES PROVIDED	=	5 SPACES

### KEY NOTES

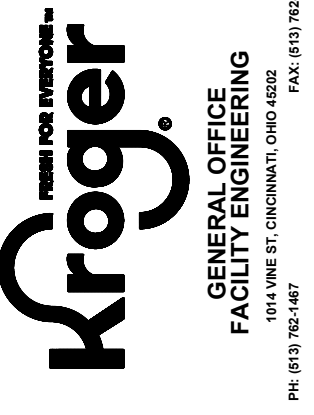
1. CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
2. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
3. CONCRETE ROLL CURB AND GUTTER (SEE DETAILS)
4. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
5. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
6. ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
7. ACCESSIBLE RAMP (SEE DETAILS)
8. 2' WIDE TACTILE WARNING STRIP
9. 4" WIDE PAVEMENT MARKING, WHITE SOLID LINE, TYP.
10. 24" WIDE STOP BAR, TYP. (SEE DETAILS)
11. STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
12. CONCRETE BOLLARD, TYP. (SEE DETAILS)
13. TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
14. EXISTING TRANSFORMER PAD TO REMAIN
15. EXISTING SIGN TO REMAIN
16. LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
17. CANOPY (SEE ARCHITECTURAL PLANS FOR DETAILS)
18. CANOPY COLUMN (TYP. 8) (SEE CANOPY PLANS FOR DETAILS)
19. 3.0' X 5.0' DISPENSER ISLAND (TYP. 7) (SEE ARCHITECTURAL PLANS FOR DETAILS)
20. INVERTED U-SHAPED STEEL PIPE GUARD POST (TYP. 14) (SEE ARCHITECTURAL PLANS FOR DETAILS)
21. DOUBLE WALL UNDERGROUND STORAGE TANK (SEE ARCHITECTURAL PLANS FOR DETAILS)
22. AIR COMPRESSOR (BY OTHERS) ON CONCRETE PAD (BY CONTRACTOR) (SEE ARCHITECTURAL PLANS FOR DETAILS)
23. EMERGENCY SHUT-OFF SWITCH MOUNTED ON KIOSK (SEE ARCHITECTURAL PLANS FOR DETAILS)
24. PROPANE CAGE ON 4' X 4' CONCRETE PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
25. DIRECTIONAL PAVEMENT MARKINGS (SEE DETAILS)
26. FUEL VENT STACK PAD (SEE ARCHITECTURAL PLANS FOR VENT STACK DETAILS)

### GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

**Kimley»Horn**  
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500 EAST 96TH STREET, SUITE 300,  
INDIANAPOLIS, IN 46240  
WWW.KIMLEY-HORN.COM

SCALE:  
AS NOTED  
DESIGNED BY: J.C.  
DRAWN BY: J.C.  
CHECKED BY: P.G.S.



### SITE PLAN

KROGER FUEL  
CENTER  
WHITESTOWN, IN

ORIGINAL ISSUE:  
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