

WHITESTOWN PLAN COMMISSION

STAFF REPORT



Meeting Date: June 09, 2025

(317) 769-6557

6210 Veterans Drive

Whitestown, IN 46075



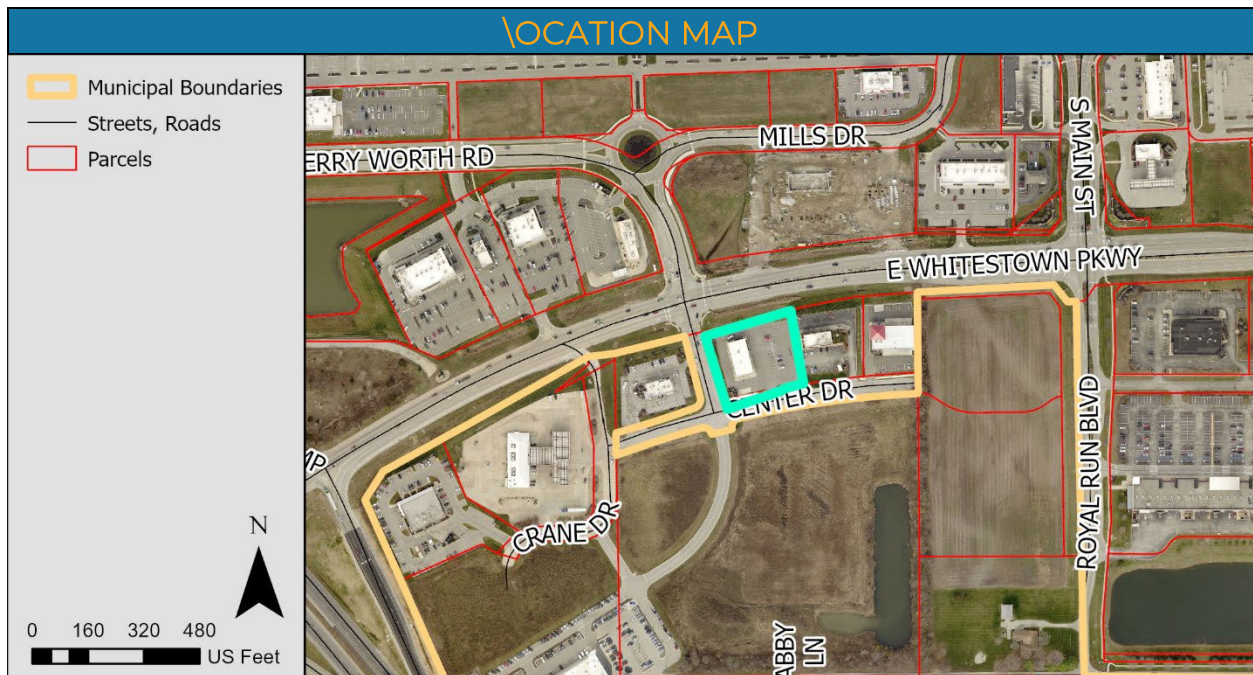
PC25-029-CP-Kroger Fueling Center

| | | | | |
|----------------------|--|------------------|----------|----------|
| Request | Applicant is requesting Concept Plan approval for the development of a Kroger Fuel Center on 1.24 acres. | | | |
| Location | 6380 Center Drive | | | |
| Applicant | McBride Dale Clarion | | | |
| Property Owner(s) | Zionswood RE LLC | | | |
| Land Area (Size) | 1.24 acres | | | |
| Applicable Ordinance | Whitestown Unified Development Ordinance Section 11.06 Land Development Process | | | |
| Property Zoning | GB | General Business | | |
| Adjacent Zoning | North | East | South | West |
| | GB | GB | Rural GB | Rural GB |
| Adjacent Land Use | Business | Business | Business | Business |
| Staff Reviewer | Allan Henderson; ahenderson@whitestown.in.gov | | | |
| Staff Recommendation | Staff is recommending approval of this request. | | | |

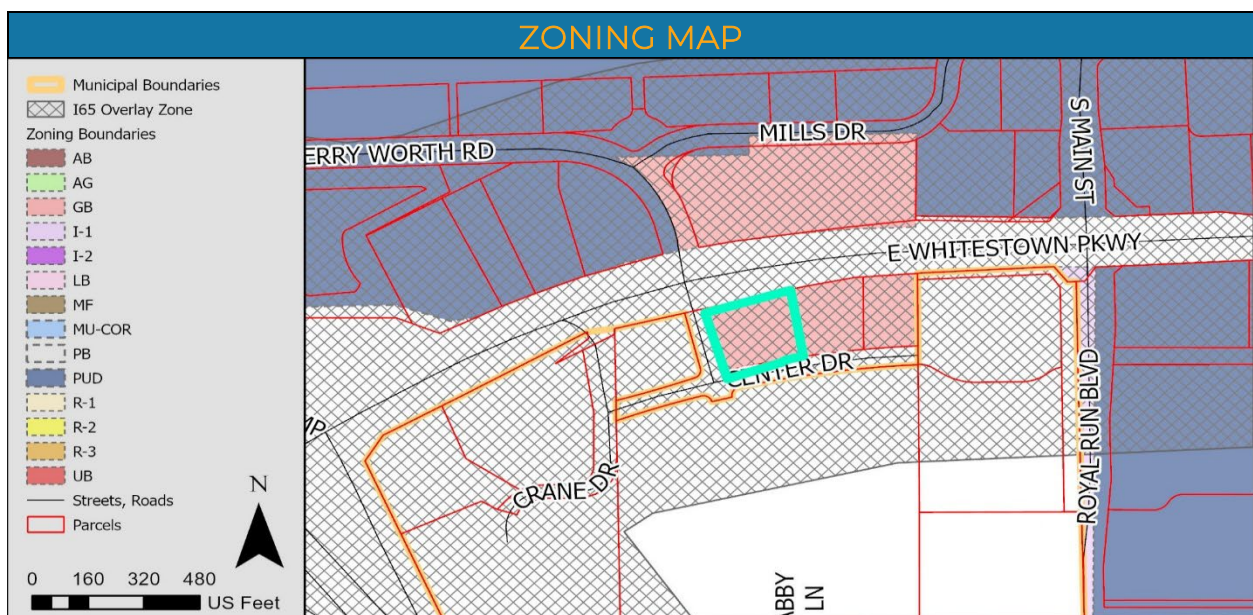
SITE HISTORY

The site is currently a permanently closed Big O Tire Center. The Big O Tire Center was built in 2018-2019. In early 2018, the Big O Tire Center applied for a Special Exception to build their store – BZA18-005-SE. At the time Automobile services, Light was a Special Exception in the GB – General Business District. Prior to the Big O Tire Center, there was a vacant service station.

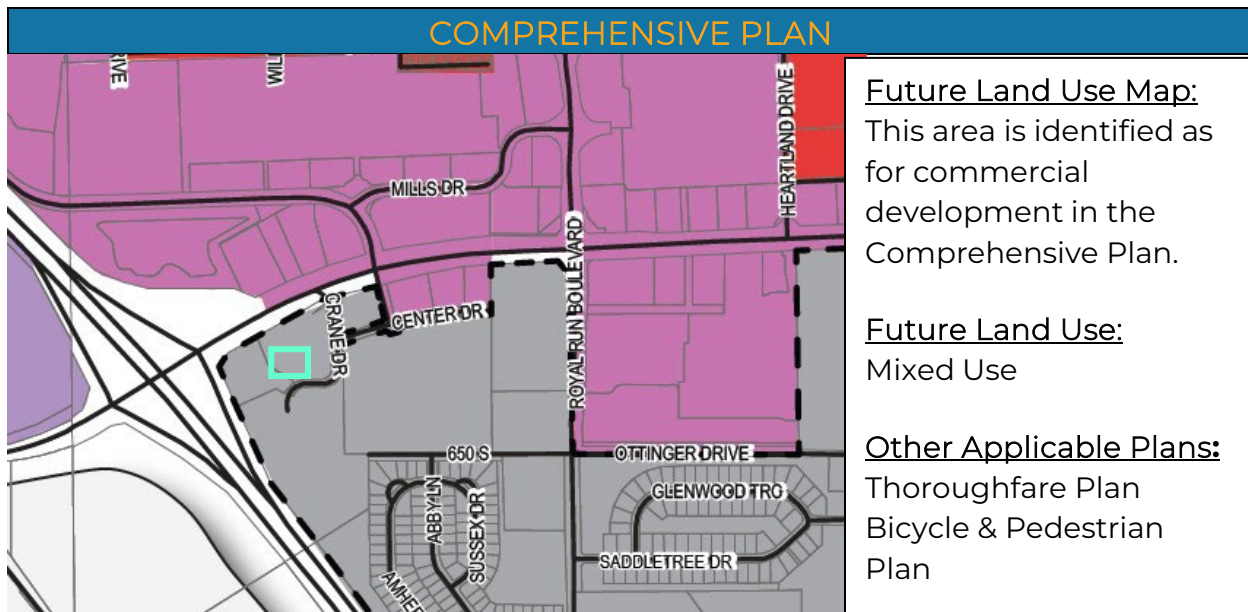
This petition is received a Special Exception use with BZA25-01-SE, and (3) Development Standards Variance with BZA25-002-DSV – Kroger Canopy Signage, BZA25-003-DSV – Kroger Kiosk Size, and BZA25-004-DSV – Kroger Canopy Height.



The site is located on the south side of Whitestown Parkway at the corner of the Parkway and Center Drive. The site is Lot #2 of the Macs Subdivision which also includes Burger King. The site will gain access from Center Drive and will not have access to Whitestown Parkway. The surrounding area is characterized by commercial 1-acre to 2-acre lots, including other service stations, fast food establishments, and a tire center. Immediately to the south of the proposed site is a 14.68-acre vacant lot. This lot is located within the Town of Zionsville and Kroger is actively pursuing the construction of a Kroger Grocery Store.



The site is zoned GB – General Business District and is also within the I-65 Corridor Overlay. Surrounding land uses are also in the GB – general Business District, but only the two parcels to the east of the site are within the Town of Whitestown corporate limits. The parcels to the south and west are in the Town of Zionsville corporate limits. These parcels have a similar business zoning classification within Zionsville’s zoning districts. Service Station, Local, is only permitted by Special Exception in the GB - General Business district.



The 2022 Whitestown Comprehensive Plan identifies the site as commercial along the Whitestown Parkway Commercial corridor, originally State Road 334. This area on the south side of the parkway was not included in the I-65 (Anson) Planned Unit Development. The area is mostly built-out with the exception of a few smaller out lots, but has potential for infill and reuse of older outdated or vacant stores. Commercial is defined as “Intended as a broad land use category that includes commercial developments serving the surrounding neighborhoods and region. Commercial developments can include retail, offices, restaurants, and other service-oriented uses and are generally adjacent to roads that can accommodate greater volumes of vehicular traffic, such as Whitestown Parkway, Indianapolis Road, CR 575, and at the Interstate 65 interchanges” in the Comprehensive Plan. The proposed concept plan is also in agreement with the following components of the Whitestown Comprehensive Plan:

Guiding Policies

6. Future development should be encouraged to provide a mix of uses in appropriate areas in addition to high-quality and creative product design.

8. Where needed, the community needs to promote redevelopment and support those activities with the appropriate level of new development activity.
11. Continue to review, revise, and implement the Interstate 65 Land Use Overlay as part of managing development activities.

Land Use Goals

Sub-Goal 1: Manage community growth and mitigate conflicting land uses.

- a. Facilitate coordination efforts with adjacent municipalities on land use and utilities planning.

Sub-Goal 3: Promote redevelopment.

- a. Allow incentives for redevelopment of existing buildings, infrastructure, and infill opportunities throughout Whitestown.

Sub-Goal 6: Promote the use of quality materials and aesthetic standards.

- a. Continue to enforce the adopted Whitestown UDO for development standards, including landscape requirements, building setbacks, screening, etc.

Economic Development Goals:

Sub-Goal 1: Become an economic development destination that possesses sites and assets that are unique to the region and attractive to high quality/high wage businesses.

PROPOSED PROJECT

The proposed project is to develop a Kroger Fueling Center on +/- 1.24 acres of land with a 277 square foot kiosk. The kiosk is designed with a mixture of decorative brick and block to match the Kroger Grocery Store. The height of the kiosk will be eleven (11) feet. The fueling canopy will have (7) double sided fueling dispensers and a height of nineteen (19) feet. The signage on the fueling canopy will include **two (2) 30.3 square feet** LED pricing panels are proposed for the canopy. The fueling center will have access from Center drive. The site will also have cross access to the Taco Bell.

SUGGESTED FINDINGS OF FACT

Staff is recommending **approval** of the Concept Plan; Docket PC25-029-CP, for the Kroger Fuel Center based on the following findings:

1. The proposed Concept Plan is in compliance with UDO 11.6 and aligns with the Land Use Map in the Comprehensive Plan which designates this area for commercial growth.

2. The proposed Concept Plan meets other goals, objectives, and policies of the Comprehensive Plan.

SUGGESTED CONDITIONS

There are no suggested conditions at this time.

SUGGESTED MOTION LANGUAGE

I find that Docket PC25-029-CP, a Concept Plan for the Kroger Fuel Center, is in accordance with UDO Section 11.6, and I move to:

- ☐ Approve the Plan as presented and described based on:
 1. The Staff Report and staff recommendations
 2. The submitted Findings of Fact
- ☐ Conditionally Approve the Plan subject to the following:
 1. Staff Report and staff recommendations
 2. The submitted Findings of Fact
 3. *Insert proposed conditions*
- ☐ Continue the decision to the July 2025 WPC Meeting
- ☐ Deny the Plan as presented and described.